



**123 Main St
Fairfax, VA 22310**



**Prepared by
House Inspection Associates LLC
VA/MD/DC: 703 453-0442
www.HouseInspectionAssociates.com**

*- Full member American Society of Home Inspectors -
Fully Insured, Maryland State Licensed - Virginia State Certified & Incorporated
Inspecting homes in Maryland, Virginia and Washington D.C.*

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

January 1, 2012

Dear John Doe

At your request, and in your presence, a visual inspection of the above referenced property was conducted on January 1, 2012. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement.

REPORT SUMMARY

Each of these items will likely require further evaluation and/or repairs by licensed contractor or engineer. Obtain competitive estimates for these items. Other minor items are also noted in the following report (Routine Maintenance Items and/or Safety enhancement) and should receive eventual attention, but none of them affect the habitability of the house and their correction is typically considered the responsibility of the purchaser. The majority are the result of normal wear and tear.

HIGH PRIORITY: Recommend evaluation and repair by a licensed contractor to be completed prior to the end of contingency period/transaction.

EXTERIOR & ROOF

WALLS:

CONDITION:

1. Cracks noted at chimney. The potential for water entry and damage is present. A licensed contractor should be called to make further evaluation and repairs as needed.



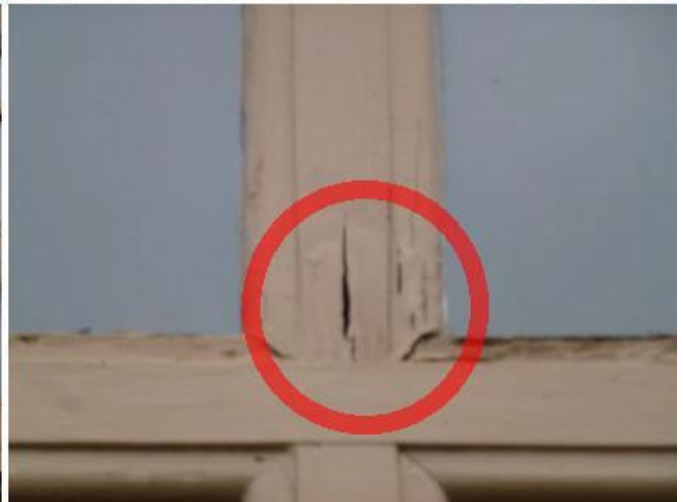
2. Loose siding noted at deck, improperly installed at flat roof at MBR. A licensed contractor should be called to make further evaluation and repairs as needed.



TRIM:

CONDITION:

3. Soft spots/Rot noted at window/s throughout. Hidden damage may exist.



4. Soft spots/Rot noted at door trim throughout.



5. Soft spots/Rot noted at bay window/s, corner/s, and rake board/s.



ROOF:

ROOF CONDITION:

6. Damaged or missing shingles noted throughout. Roof is past the end of its useful life, A licensed roofing contractor should be called to make further evaluation and repairs as needed.



7. Evidence of ponding/poor drainage, The potential for water entry is present. Handrail is loose and rotted. A licensed roofing contractor should be called to make further evaluation and repairs as needed.



FLASHINGS:

CONDITION:

8. Separated/Deteriorated flashing noted at vent pipe/s. The potential for water entry and damage is present. Hidden damage may exist. A licensed roofing contractor should be called to make further evaluation and repairs as needed.



CHIMNEY:

CONDITION:

9. Chimney is separated. The flue is damaged/deteriorated, A licensed contractor should be called to make further evaluation and repairs as needed.



PORCH:

CONDITION:

10. The following problems were noted at the handrail: damaged.



GROUNDS

GRADING:

SITE & CONDITION:

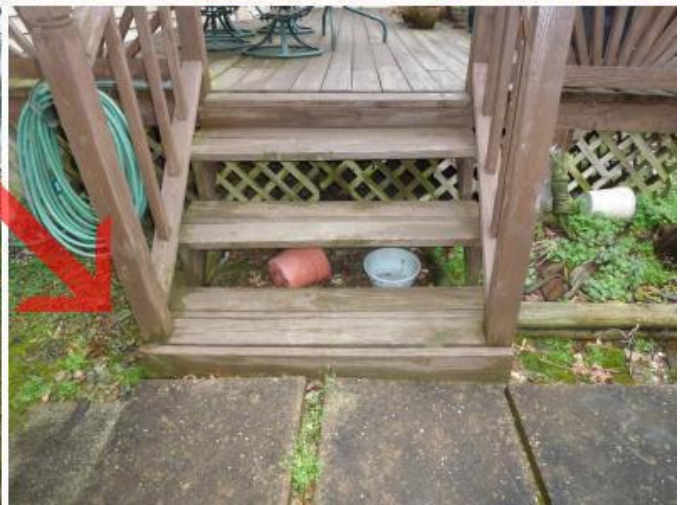
11. Gentle slope, Pitch slope of soils away from foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation



DECKS:

CONDITION:

12. Improper conditions viewed, deck is sagging, handrail is loose, stairs have sunk. Contact a licensed contractor for further evaluation and repairs as needed.



RETAINING WALLS:

CONDITION:

13. Damage/Displacement is noted, wall has collapsed. A structural engineer should be consulted.



GARAGE - CARPORT

GARAGE DOOR(S):

CONDITION:

14. Soft spots/Rot and temporary repairs noted. The following problems were found at the automatic reverse feature: not operational at left door. Note: All overhead doors should have fully operational auto-reverse function.



EXTERIOR WALLS:

CONDITION:

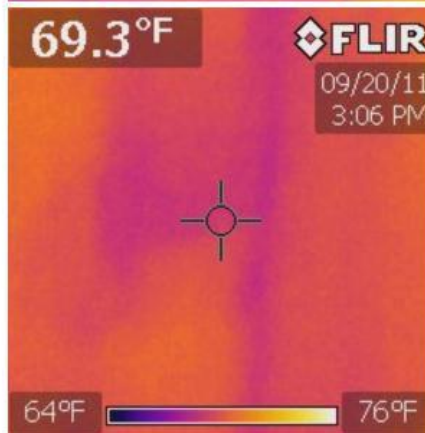
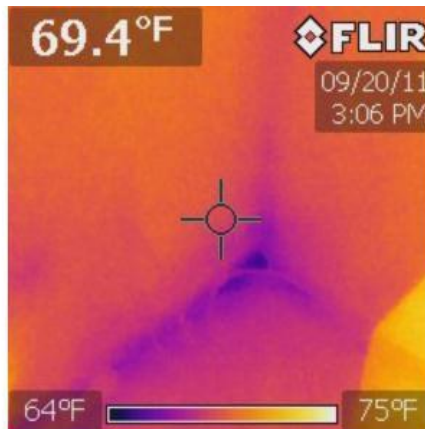
15. Bricks are bowed out above door, possible collapse, A licensed contractor should be called to make further evaluation and repairs as needed.



FOUNDATION
BASEMENT:

WALLS CONDITION:

16. Staining was observed: Evidence of present water penetration is noted - seen at front wall (infrared photos attached). Water seepage may recur in the future. The first step in defense against water seepage is good drainage of soils near the foundation wall (slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation), cleaning gutters and extending downspouts away from foundation.



FLOOR JOISTS - TYPE & CONDITION:

17. Signs of Wood Destroying Organisms in furnace room, consult a licensed Pest control company.



COLUMNS/SUPPORTS TYPE & CONDITION:

18. Metal, Post is not properly secured, Further evaluation and repair is needed by a foundation contractor.



OTHER OBSERVATIONS:

19. Organic material (possibly mold) visible at rear wall. CONSULT A MOLD EXPERT FOR FURTHER EVALUATION.



PLUMBING

WASTE LINES:

CONDITION:

20. Vents are separated in attic, A licensed plumber should be called to make further evaluation and repairs as needed.



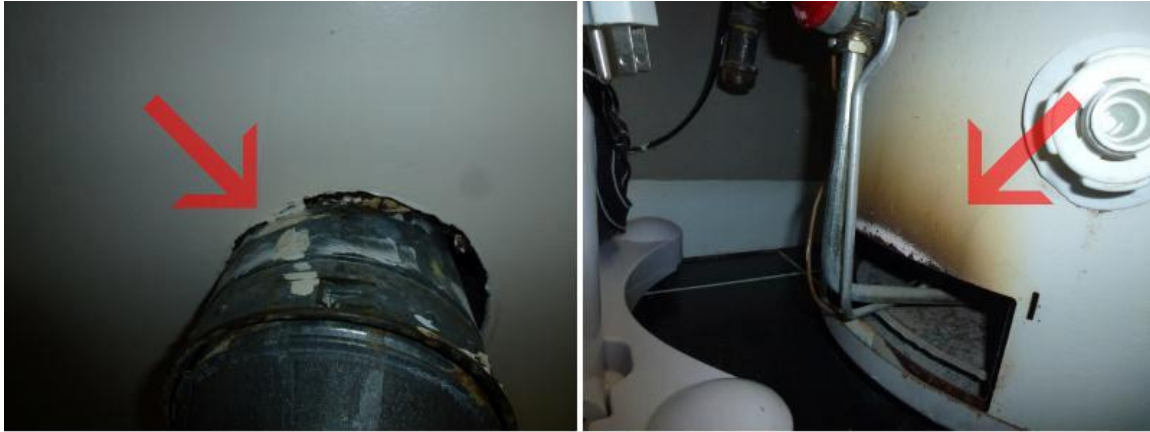
WATER HEATER #1:

CONDITION:

21. The following problems were noted at flue vent: Corrosion is noted at piping, not routed to the exterior, FIRE HAZARD!!! A licensed plumber should be called to make further evaluation and repairs as needed.



22. The following problems were noted at flue vent: Improper clearance to combustibles and corrosion is noted at piping. Backdrafting is noted, HAZARD CONDITIONS EXIST.



HVAC

HEATING SYSTEM #1:

VENTING:

23. The following problems were noted at flue vent: disconnected in the attic. Contact a licensed heating contractor for further evaluation and repairs as needed.



HEATING SYSTEM #2:

CONDITION OF UNIT:

24. Blower door interlock is missing/not working properly. Contact a licensed heating contractor for further evaluation and repairs as needed.



BURNERS/HEAT EXCHANGERS:

25. Excessive scale and corrosion is noted in the burn chamber.



VENTING:

26. The following problems were noted at flue vent: Improperly terminated in the attic instead of penetrating the roof, FIRE HAZARD!!! Contact a licensed heating contractor for further evaluation and repairs as needed.



DUCTWORK:

CONDITION:

27. ASBESTOS-LIKE material noted! Possible health hazard. Evaluation by a licensed remediation contractor is recommended.



ELECTRICAL SYSTEM

SERVICE:

TYPE AND CONDITION:

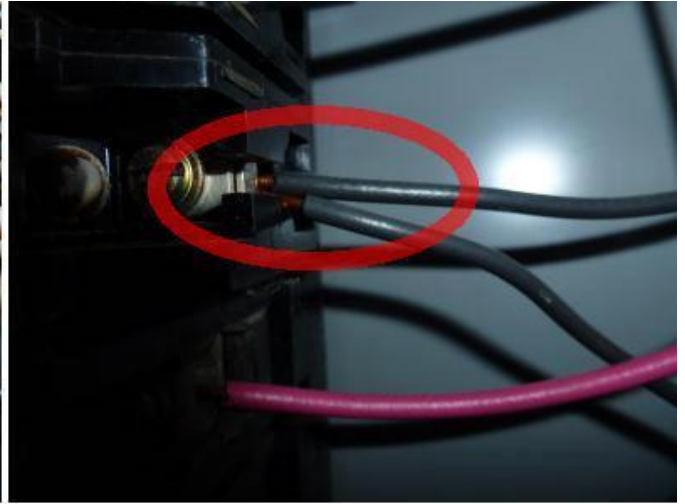
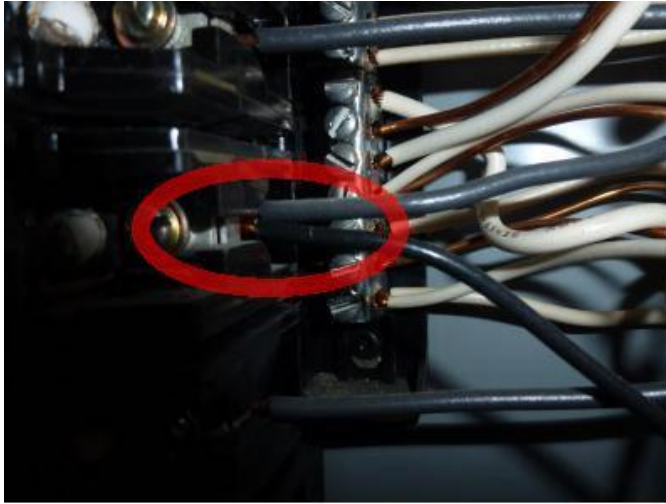
28. The following problems were noted at the SE cable: Service Entry cable is deteriorated/worn, Have a licensed electrician make further evaluation and corrections as needed.



MAIN ELECTRICAL PANELS:

MAIN PANEL CONDITION:

29. Multiple wires are connected to a single lug on a circuit breaker where only one wire should be connected, Have a licensed electrician make further evaluation and corrections as needed.



30. Nails are inserted at the SE cable. Potential fire hazard. Have a licensed electrician make further evaluation and corrections as needed.



CONDUCTORS:
BRANCH WIRING:

31. Melting wires noted in basement. Have a licensed electrician make further evaluation and corrections as needed.



SWITCHES - FIXTURES - RECEPTACLES:

DEFECTS:

32. Reverse polarity is noted at garage door in kitchen. Junction box cover/s or light fixture missing in kitchen. Light/s not operational, possibly due to burned out / missing bulbs in MBR and front bedroom. Have a licensed electrician make further evaluation and corrections as needed.



33. Recessed lights in the attic do not appear to be designed to be in direct contact with insulation or any combustible materials.



34. Light/s not operational, possibly due to burned out / missing bulbs in hallway on main level.



INTERIOR

ATTIC & INSULATION:

ACCESSIBILITY & CONDITION:

35. Active leak is noted at attic door in MBR closet and main attic, A licensed roofing contractor should be called to make further evaluation and repairs as needed.



36. Truss/rafter/s cracked and repaired; however, unable to determine if the repairs have been performed correctly. Ask seller for documentation of this repair, A licensed structural engineer/architect should be called to make further evaluation and repairs as needed, including proper drawings.



BATHROOMS

POWDER ROOM :

CONDITION OF TOILET:

37. The following problems were noted at the toilet: loose at floor, a new wax seal should be installed under loose toilets, Have a licensed plumber make proper repairs as needed.

MASTER BATH:

CONDITION OF SINK / CABINET:

38. The following problems were noted at the drain: Stopper did not operate properly at right sink.



WHIRLPOOL:

39. Did not respond to controls properly, stopped several times while running. Clean jets, hoses and pipes Have a licensed plumber make proper repairs as needed.



HALL BATH:

CONDITION OF SINK / CABINET:

40. The following problems were noted at the drain: An improper S-trap drain line is installed. A licensed plumber should be called to make further evaluation and repairs as needed.



CONDITION OF TOILET:

41. The following problems were noted at the toilet: loose at floor, a new wax seal should be installed under loose toilets, Have a licensed plumber make proper repairs as needed.

KITCHEN & APPLIANCES

DISHWASHER:

CONDITION:

42. The following problems were noted at the air gap: The air gap is clogged and water is being discharged at top of sink, A licensed plumber should be called to make further evaluation and repairs as needed.



MAINTENANCE:

EXTERIOR & ROOF

WALLS:

CONDITION:

1. Cracks noted and deteriorated mortar is noted at garage, repaired crack noted at front window. Caulk gaps/cracks at window/s. The potential for water entry and damage is present.



TRIM:

CONDITION:

2. Peeling paint is noted at window/s throughout. Paint/finish needed.



GROUNDS

DRIVEWAY:

CONDITION:

3. Cracks noted.



LANDSCAPING:

CONDITION:

4. Trim plants /trees away from structure.



DECKS:

CONDITION:

5. Maintain deck surface (pressure wash and seal annually)

PLUMBING

EXTERIOR HOSE FAUCETS:

OPERATION:

6. Poor access to shut off valves, behind hot vent pipe.

Hose faucets should be winterized/drained prior to cold weather season in order to prevent freezing and damage:

Turn off water supply at shut off valve inside the house

Remove garden hose

Open hose faucet at exterior.

If installed, unscrew the "bleeder cap" at shut off valve inside the house to allow ALL of the water drain out completely, (some water might drip out at this point).

Last, screw the "bleeder" cap back on.



HVAC

HEATING SYSTEM #1:

CONDITION OF UNIT:

7. System has been neglected, with no signs of recent servicing. Suggest cleaning/servicing.

PUMP/BLOWER FAN:

8. System lacks cleaning. Fan compartment is dirty.

AIR FILTERS:

9. Filter size: 14x25x1: we recommend disposable "pleated" style filter. Filters should be changed/cleaned once a month or as needed. Filters are located at air handler.



OTHER EQUIPMENT:

10. NOTE: Humidifiers are beyond the scope of this inspection. Service/replace humidifier evaporator pad annually or as needed.



GENERAL SUGGESTIONS:

11. Suggest cleaning/servicing, We recommend a maintenance contract be placed on the heating/cooling system to ensure proper operation and extend the lifespan of the system.

HEATING SYSTEM #2:

CONDITION OF UNIT:

12. System has been neglected, with no signs of recent servicing. Suggest cleaning/servicing.

PUMP/BLOWER FAN:

13. System lacks cleaning. Fan compartment is dirty.

AIR FILTERS:

14. Filter size: 14x24x1: we recommend disposable "pleated" style filter. Filters should be changed/cleaned once a month or as needed.



OTHER EQUIPMENT:

15. NOTE: Humidifiers are beyond the scope of this inspection. Service/replace humidifier evaporator pad annually or as needed.



GENERAL SUGGESTIONS:

16. Suggest cleaning/servicing.

AIR CONDITIONING #1:

TYPE & CONDITION:

17. The following problems were noted at the compressor/outdoor unit: Insulation is damaged / missing on refrigerant line.



CONDENSATE LINE:

18. For optimum performance, trap should be cleaned at regular intervals, particularly in the summer.



AIR CONDITIONING #2:

TYPE & CONDITION:

19. The following problems were noted at the compressor/outdoor unit: Insulation is damaged / missing on refrigerant line.



DUCTWORK:

CONDITION:

20. Ducts appear dirty. Suggest cleaning, Vapor barrier at flexible round ductwork is loose/deteriorated in the attic.



ELECTRICAL SYSTEM

SERVICE:

TYPE AND CONDITION:

21. Gaps are noted at the meter SE cable entry / electrical meter. The potential of water entry is present, seal/caulk as needed.



INTERIOR

DOORS:

EXTERIOR DOORS:

22. Doors rub/stick at deck.



INTERIOR DOORS:

23. Doors don't latch at office and hallway closet on main level. Doors rub/stick at front bedrooms.



STAIRS & HANDRAILS:

CONDITION:

24. The following problems were noted at the handrail: loose in foyer.



FIREPLACE/WOOD BURNING DEVICES:

FAMILY ROOM: TYPE & CONDITION:

25. Recommend cleaning and inspection. As a rule of thumb, chimney should be swept after burning 2 - 3 cords of wood.



BATHROOMS

POWDER ROOM:

CONDITION OF FLOOR:

26. The following problems were noted at the floor: tile/s are cracked.



MASTER BATH:

TUB/SHOWER & WALLS:

27. Grout is missing/deteriorated - re-grouting is needed to prevent water intrusion, Caulk and seal all tub and shower areas including at plumbing fixtures as a precaution.



HALL BATH:

CONDITION OF SINK / CABINET:

28. The following problems were noted: vanity is damaged.



TUB/SHOWER PLUMBING FIXTURES:

29. The following problems were noted at the drain: drain is slow at tub.



TUB/SHOWER & WALLS:

30. Caulk and seal all tub and shower areas including at plumbing fixtures as a precaution.



KITCHEN & APPLIANCES

VENTILATION:

CONDITION:

31. Exhaust fan/filter is dirty.



LAUNDRY - UTILITY SINKS:

LAUNDRY #1:

DRYER:

32. Clean dryer vent annually.

IMPROVEMENTS & SAFETY ENHANCEMENTS:

EXTERIOR & ROOF

GUTTERS & DOWNSPOUTS:

CONDITION:

1. Route downspouts away from the building.



GROUND

WINDOW WELLS:

CONDITION:

2. Consider installing a window well cover to prevent water intrusion.



GARAGE - CARPORT

GARAGE DOOR(S):

CONDITION:

3. Consider adding electronic sensors for safer operation of automatic reverse feature.

FOUNDATION

BASEMENT:

ACCESSIBILITY:

4. Handrail is missing. Correction is recommended.



BASEMENT FLOOR & DRAINAGE:

5. Consider extending sump pump drain line away from foundation.



OTHER OBSERVATIONS:

6. Subsurface drains noted. Adequacy of this drainage system is not determined due to the underground nature. Consider having the drain "scoped" / inspected by a licensed plumber.



HVAC

HEATING SYSTEM #1:

APPROXIMATE AGE:

7. Older model - past the end of its useful life. 20+ years.

GENERAL SUGGESTIONS:

8. Consider installing carbon monoxide detector.

HEATING SYSTEM #2:

APPROXIMATE AGE:

9. Older model - past the end of its useful life. 20+ years.

AIR CONDITIONING #1:

APPROXIMATE AGE:

10. Older model - past the end of its useful life. 20+ years.

AIR CONDITIONING #2:

APPROXIMATE AGE:

11. Older model - past the end of its useful life. 20+ years.

DUCTWORK:

CONDITION:

12. Flexible ducts should not be exposed to direct sunlight. UV rays can damage the vapor barrier. Consider covering windows in the attic.



13. Ask HVAC contractor to mark dampers "winter" and "summer", in order to better balance air flow during different seasons.



ELECTRICAL SYSTEM

SWITCHES - FIXTURES - RECEPTACLES:

RECOMMENDED UPGRADES:

14. Ground Fault Circuit Interrupter (GFCI) receptacles are recommended for kitchens. Consider removing incandescent light bulb from the vicinity of shelving. Potential fire hazard. You can also replace existing incandescent light bulb with a fluorescent bulb/light fixture



INTERIOR

DOORS:

INTERIOR DOORS:

15. Missing guide is noted at sliding doors in basement.



WINDOWS:

TYPE:

16. Single pane in basement. Consider installing double pane, insulated windows for better energy efficiency.



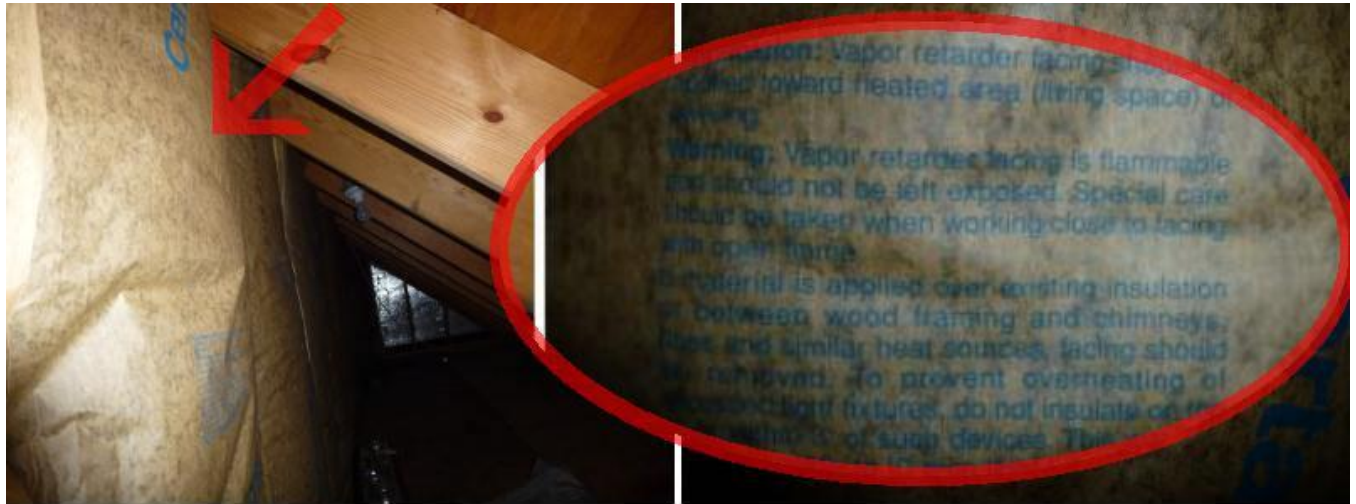
ATTIC & INSULATION:

INSULATION TYPE, DEPTH & CONDITION:

17. Insulation has been disturbed and good coverage is no longer present.



18. Insulation is installed upside down/backwards. Vapor barrier should be installed toward conditioned space. If another layer of insulation is added on top of existing layer, unfaced insulation should be used.



BATHROOMS

POWDER ROOM:

BATH VENTILATION:

19. Consider installing an exhaust fan to provide additional ventilation.

HALL BATH:

BATH VENTILATION:

20. Consider installing an exhaust fan to provide additional ventilation.

KITCHEN & APPLIANCES

RANGE/COOK TOP & OVEN:

CONDITION:

21. Missing anti-tipping bracket.

WALL OVEN:

CONDITION:

22. Older model appliance. Unit is near the end of its useful life.

DISHWASHER:

CONDITION:

23. Older model appliance. Unit is near the end of its useful life.

GARBAGE DISPOSAL:

CONDITION:

24. Unit is an older model. Unit is near the end of its useful life. Rusting is noted on body of the disposal.



LAUNDRY - UTILITY SINKS:

LAUNDRY #1:

WASHER:

25. Washing machine is an older model. Unit is nearing the end of its useful life, Consider installing burst-proof supply hoses. Our recommendation is to check hoses frequently and replace them every 3-5 years as part of a proactive maintenance plan.



DRYER:

26. Dryer is an older model. Unit is nearing the end of its useful life.

ASK SELLER:

INSPECTION CONDITIONS

OTHER INFORMATION:

COMMENTS:

1. Recent remodeling noted. Ask seller for permits and an approved final inspection certificate.

GARAGE - CARPORT

MISCELLANEOUS:

OTHER OBSERVATIONS:

2. Stains noted at ceiling. Unable to determine if active leakage exists, not wet today, monitor in the future. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



INTERIOR

WINDOWS:

CONDITION:

3. Missing screen/s noted in sunroom.



WALLS:

CONDITION:

4. Stains noted in foyer. Unable to determine if active leakage exists, not wet today, monitor in the future. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



BATHROOMS

POWDER ROOM :

CONDITION OF SINK / CABINET:

5. Stains noted under the sink. Unable to determine if active leakage exists, not wet today. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



BASEMENT BATH:

CONDITION OF SINK / CABINET:

6. Stains noted under the sink. Unable to determine if active leakage exists, not wet today. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



KITCHEN & APPLIANCES

KITCHEN SINK:

CONDITION:

7. Stains noted under the sink. Unable to determine if active leakage exists, not wet today. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



FYI:

PLUMBING

MAIN LINE:

MATERIAL & LOCATION:

1. Basement, At water heater.



WATER HEATER #1:

TYPE - SIZE - LOCATION:

2. Access to the water heater is restricted.



HVAC

AIR CONDITIONING #1:

TYPE & CONDITION:

3. Outside air temperature was below 65 degrees. Unable to test system at this time.

AIR CONDITIONING #2:

TYPE & CONDITION:

4. Outside air temperature was below 65 degrees. Unable to test system at this time.

ELECTRICAL SYSTEM

SWITCHES - FIXTURES - RECEPTACLES:

CONDITION:

5. Exterior GFCI receptacles reset at main electrical panel, Bathroom GFCI receptacles reset in hall bathroom.



INTERIOR

ATTIC & INSULATION:

VENTILATION:

6. Attic fan is installed, not tested. controls / thermostat was difficult to reach or the temperature was too low for the thermostat to activate.



BATHROOMS

MASTER BATH:

WHIRLPOOL:

7. Unable to inspect electrical wiring, motor & hoses because access door is sealed shut.



Thank you for selecting House Inspection Associates for your home inspection. If you have any questions regarding the inspection report or the home, please feel free to contact us.

Sincerely,

Jiri G Danihel.

Report Table of Contents

INSPECTION CONDITIONS	56
EXTERIOR & ROOF	58
GROUND	68
GARAGE - CARPORT	72
FOUNDATION	75
PLUMBING	79
HVAC	83
ELECTRICAL SYSTEM	91
INTERIOR	98
BATHROOMS	106
KITCHEN & APPLIANCES	112
LAUNDRY - UTILITY SINKS:	115

INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

FILE #: 0001692.
DATE OF INSPECTION: January 1, 2012.
START TIME OF INSPECTION: 1:30 PM.
END TIME OF INSPECTION: 5:30 PM.
CLIENT NAME: John Doe.
CLIENT PHONE #:
CLIENT E-MAIL: jd@gmail.com.
INSPECTION SITE: 123 Main St.
INSPECTION SITE CITY/STATE/ZIP: Fairfax, VA 22310.
AGENT NAME: Mike Smith.
AGENT PHONE #: 703-453-0442.
AGENT E-MAIL: ms@gmail.com.

CLIMATIC CONDITIONS:

WEATHER: Rain.
SOIL CONDITIONS: Wet.
APPROXIMATE OUTSIDE TEMPERATURE in F: 40-50.

BUILDING CHARACTERISTICS:

ESTIMATED AGE OF HOUSE IN YEARS: 24.
BUILDING TYPE: Single Family/Detach.
STORIES: 3
SPACE BELOW GRADE: Basement.

UTILITY SERVICES:

WATER SOURCE: Public.
SEWAGE DISPOSAL: Public.
UTILITIES STATUS: All utilities on.

OTHER INFORMATION:

HOUSE OCCUPIED? Yes.
CLIENT PRESENT: Yes.
PEOPLE PRESENT: Selling agent and Purchaser/s.
INSPECTORS PRESENT: Jiri G Danihel.

COMMENTS:

Recent remodeling noted. Ask seller for permits and an approved final inspection certificate.

PAYMENT INFORMATION:

TOTAL FEE:

458.00.

PAID BY:

Check.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repurchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; telephone systems; central vacuum; generators; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or rs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

EXTERIOR & ROOF

The foregoing is an opinion of the general quality and condition of the exterior and roofing materials. Areas hidden from view by trees, landscaping or stored items can not be judged and are not a part of this inspection. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Clean and inspect gutters and downspouts on a regular basis to insure proper drainage.

KEY:

RED - High priority items (Repair/Replace). Recommend evaluation and repair by a licensed contractor to be completed prior to the end of contingency period/transaction.

GREEN - Maintenance Items.

ORANGE - Improvements & Safety Enhancements.

BLUE - Ask seller

BROWN - FYI

"Appears Serviceable" means that the inspector did not observe any conditions that would let him/her believe problems existed with a particular item or system. The item or system is useable; however, might show signs of wear and tear.

WALLS:

MATERIAL:

CONDITION:

Brick, Aluminum siding.

Cracks noted and deteriorated mortar is noted at garage, repaired crack noted at front window. Caulk gaps/cracks at window/s. The potential for water entry and damage is present.

Cracks noted at chimney. The potential for water entry and damage is present. A licensed contractor should be called to make further evaluation and repairs as needed.

Loose siding noted at deck, improperly installed at flat roof at MBR. A licensed contractor should be called to make further evaluation and repairs as needed.





TRIM:

MATERIAL:
CONDITION:

Wood.

Soft spots/Rot noted at window/s throughout. Hidden damage may exist.

Soft spots/Rot noted at door trim throughout.

Soft spots/Rot noted at bay window/s, corner/s, and rake board/s.

Peeling paint is noted at window/s throughout. Paint/finish needed.







ROOF:

STYLE:

Gable, Hip. Flat/Low slope.

TYPE:

Wood shingles. Rolled composition.

HOW INSPECTED:

Viewed from ground with binoculars. Viewed from roof edge on ladder.

ROOF CONDITION:

Damaged or missing shingles noted throughout. Roof is past the end of its useful life, A licensed roofing contractor should be called to make further evaluation and repairs as needed.

Evidence of ponding/poor drainage, The potential for water entry is present. Handrail is loose and rotted. A licensed roofing contractor should be called to make further evaluation and repairs as needed.





FLASHINGS:

TYPE:

Metal, Rubber.

CONDITION:

Separated/Deteriorated flashing noted at vent pipe/s. The potential for water entry and damage is present. Hidden damage may exist. A licensed roofing contractor should be called to make further evaluation and repairs as needed.



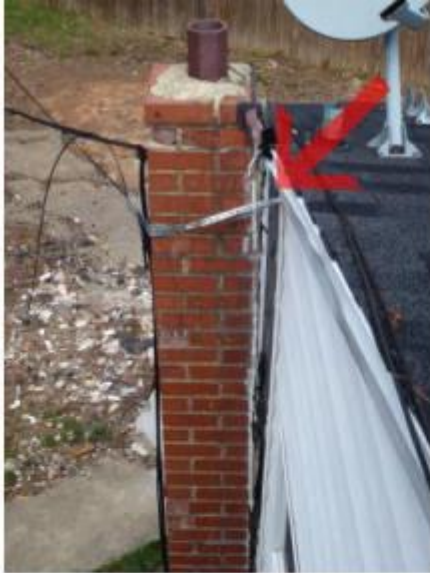
CHIMNEY:

MATERIAL:

Brick, Metal.

CONDITION:

Chimney is separated. The flue is damaged/deteriorated, A licensed contractor should be called to make further evaluation and repairs as needed.



GUTTERS & DOWNSPOUTS:

TYPE:

Full.

CONDITION:

Route downspouts away from the building.



PORCH:

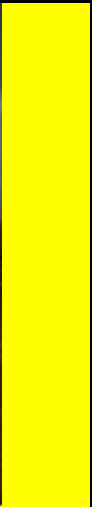
TYPE:

Brick.

CONDITION:

Appears serviceable, Stairs are serviceable, Cracks noted are typical

The following problems were noted at the handrail: damaged.



GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

KEY:

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GREEN - Maintenance Items.
ORANGE - Improvements & Safety Enhancements.
BLUE - Ask seller
BROWN - FYI

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DRIVEWAY:

TYPE:

Asphalt.

CONDITION:

Cracks noted.



SIDEWALKS:

TYPE:	Concrete.
CONDITION:	Appears serviceable, Cracks noted are typical.

GRADING:

SITE & CONDITION:	Gentle slope, Pitch slope of soils away from foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation
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LANDSCAPING:

CONDITION:	Trim plants /trees away from structure.
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DECKS:

TYPE:

Wood.

CONDITION:

Maintain deck surface (pressure wash and seal annually)

Improper conditions viewed, deck is sagging, handrail is loose, stairs have sunk.
Contact a licensed contractor for further evaluation and repairs as needed.



WINDOW WELLS:

TYPE:

Metal.

CONDITION:

Consider installing a window well cover to prevent water intrusion.



RETAINING WALLS:

TYPE:

Concrete, Masonry.

CONDITION:

Damage/Displacement is noted, wall has collapsed. A structural engineer should be consulted.



GARAGE - CARPORT

Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas.

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TYPE:

TYPE: Attached, Under main house roof, Two car.

FLOOR:

CONDITION: Appears serviceable, Typical cracks noted, Floor is not fully visible, due to stored items/cars.



FIREWALL:

CONDITION: Appears serviceable.

GARAGE DOOR(S):

CONDITION:

Soft spots/Rot and temporary repairs noted. The following problems were found at the automatic reverse feature: not operational at left door. Note: All overhead doors should have fully operational auto-reverse function.

Consider adding electronic sensors for safer operation of automatic reverse feature.



MISCELLANEOUS:

OTHER OBSERVATIONS:

Stains noted at ceiling. Unable to determine if active leakage exists, not wet today, monitor in the future. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



EXTERIOR WALLS:

CONDITION:

Bricks are bowed out above door, possible collapse, A licensed contractor should be called to make further evaluation and repairs as needed.



FOUNDATION

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Adequacy of drainage system is not determined due to the underground nature of the system.

Any conditions that might exist on the concealed parts of foundation walls are not within the scope of the home inspection.

KEY:

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ORANGE - Improvements & Safety Enhancements.

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BASEMENT:

ACCESSIBILITY:

Viewing was restricted by wall coverings, Basement is finished, Stairs are serviceable, **Handrail is missing. Correction is recommended.**



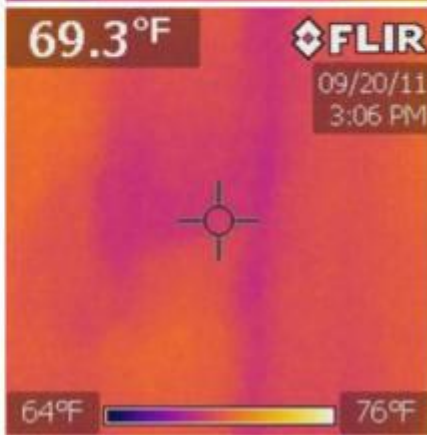
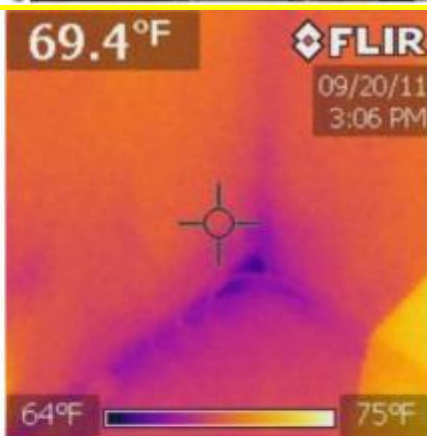
WALLS TYPE:

Poured concrete.

WALLS CONDITION:

Any conditions that might exist on the concealed parts of foundation walls are not within the scope of the home inspection. View is obstructed by finished walls, stored items, insulation.

Staining was observed: Evidence of present water penetration is noted - seen at front wall (infrared photos attached). Water seepage may recur in the future. The first step in defense against water seepage is good drainage of soils near the foundation wall (slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation), cleaning gutters and extending downspouts away from foundation.



**FLOOR JOISTS - TYPE
& CONDITION:**

Wood, Appear serviceable, Joists are not fully visible.

Signs of Wood Destroying Organisms in furnace room, consult a licensed Pest control company.



**BEAMS - TYPE &
CONDITION:
COLUMNS/SUPPORTS
TYPE & CONDITION:**

Metal, Appears serviceable, Beams are not fully visible.

Metal, Post is not properly secured, Further evaluation and repair is needed by a foundation contractor.



**BASEMENT FLOOR &
DRAINAGE:**

Slab appears serviceable but is not visible due to floor covering, Sump pump appears serviceable, A french drain is present. Adequacy of basement drainage system is not determined due to the underground nature of the system, **Consider extending sump pump drain line away from foundation.**



**OTHER
OBSERVATIONS:**

Subsurface drains noted. Adequacy of this drainage system is not determined due to the underground nature. Consider having the drain "scoped" / inspected by a licensed plumber.

Organic material (possibly mold) visible at rear wall. CONSULT A MOLD EXPERT FOR FURTHER EVALUATION.



PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs. Inspector does not operate safety valves or shut-off valves. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

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MAIN LINE:

**MATERIAL &
LOCATION:**

Copper, Basement, At water heater.



CONDITION:

Valve is installed, not tested/operated.

SUPPLY LINES:

MATERIAL: Copper.
CONDITION: Appears serviceable, Pipes not fully visible.

WASTE LINES:

MATERIAL: PVC.
CONDITION: Appears serviceable, Lines not fully visible. **Vents are separated in attic, A licensed plumber should be called to make further evaluation and repairs as needed.**



WATER HEATER #1:

TYPE - SIZE - LOCATION: Gas, 50 Gallons, Basement, **Access to the water heater is restricted.**



CONDITION: A water shutoff valve is installed, not tested/operated, Pressure relief valve noted, not tested
The following problems were noted at flue vent: Corrosion is noted at piping, not routed to the exterior, FIRE HAZARD!!! A licensed plumber should be called to make further evaluation and repairs as needed.

The following problems were noted at flue vent: Improper clearance to combustibles and corrosion is noted at piping. Backdrafting is noted, HAZARD CONDITIONS EXIST.



Appliance Type
Manufacturer
Model

Water Heater.
GE.
GG50T06AVG00.

EXTERIOR HOSE FAUCETS:

OPERATION:

Poor access to shut off valves, behind hot vent pipe.

Hose faucets should be winterized/drain prior to cold weather season in order to prevent freezing and damage:

- Turn off water supply at shut off valve inside the house
- Remove garden hose
- Open hose faucet at exterior.
- If installed, unscrew the "bleeder cap" at shut off valve inside the house to allow ALL of the water drain out completely, (some water might drip out at this point).

Last, screw the "bleeder" cap back on.



HVAC

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be preformed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

THE INTERIORS OF FLUES AND CHIMNEYS ARE NOT PART OF THIS INSPECTION.

KEY:

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HEATING SYSTEM #1:

LOCATION :	Basement.
SYSTEM TYPE:	Forced Air.
FUEL TYPE & NOTES:	Natural Gas.
CAPACITY OF UNIT:	80,000 BTU.
APPROXIMATE AGE:	Older model - past the end of its useful life. 20+ years.
CONDITION OF UNIT:	System has been neglected, with no signs of recent servicing. Suggest cleaning/servicing.
BURNERS/HEAT EXCHANGERS:	Burner Flame(s) appear typical, The heat exchanger portion of a gas or oil fired heater is difficult to access without disassembly, and cannot be adequately checked during a visual inspection. We recommend a service contract be placed on the unit and a heating contractor called to verify the condition of the heat exchanger prior to settlement date.
PUMP/BLOWER FAN:	System lacks cleaning. Fan compartment is dirty.
COMBUSTION AIR:	Appears serviceable.
VENTING:	The following problems were noted at flue vent: disconnected in the attic. Contact a licensed heating contractor for further evaluation and repairs as needed.



AIR PLENUM:
AIR FILTERS:

Appears serviceable.

Filter size: 14x25x1: we recommend disposable "pleated" style filter. Filters should be changed/cleaned once a month or as needed. Filters are located at air handler.



OTHER EQUIPMENT:

NOTE: Humidifiers are beyond the scope of this inspection. Service/replace humidifier evaporator pad annually or as needed.



NORMAL CONTROLS:
GENERAL
SUGGESTIONS:

Appliance Type
Manufacturer
Model

Appear serviceable.
Suggest cleaning/servicing, We recommend a maintenance contract be placed on the heating/cooling system to ensure proper operation and extend the lifespan of the system. Consider installing carbon monoxide detector.
Furnace.
Trane.
TUS080A948A0.

HEATING SYSTEM #2:

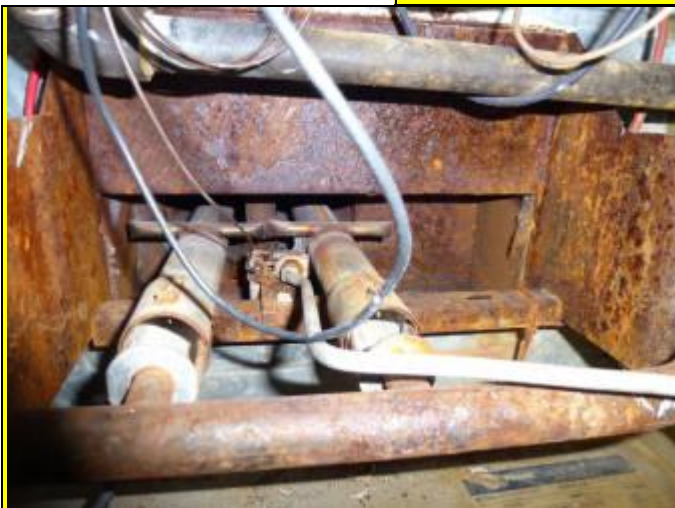
LOCATION :
SYSTEM TYPE:
FUEL TYPE & NOTES:
CAPACITY OF UNIT:
APPROXIMATE AGE:
CONDITION OF UNIT:

Basement.
Forced Air.
Natural Gas.
56,000 BTU.
Older model - past the end of its useful life. 20+ years.
System has been neglected, with no signs of recent servicing. Suggest cleaning/servicing.
Blower door interlock is missing/not working properly. Contact a licensed heating contractor for further evaluation and repairs as needed.



BURNERS/HEAT EXCHANGERS:

Excessive scale and corrosion is noted in the burn chamber.



PUMP/BLOWER FAN:
COMBUSTION AIR:
VENTING:

System lacks cleaning. Fan compartment is dirty.

Appears serviceable.

The following problems were noted at flue vent: Improperly terminated in the attic instead of penetrating the roof, FIRE HAZARD!!! Contact a licensed heating contractor for further evaluation and repairs as needed.



AIR PLENUM:
AIR FILTERS:

Appears serviceable.

Filter size: 14x24x1: we recommend disposable "pleated" style filter. Filters should be changed/cleaned once a month or as needed.



OTHER EQUIPMENT:

NOTE: Humidifiers are beyond the scope of this inspection. Service/replace humidifier evaporator pad annually or as needed.



NORMAL CONTROLS:	Appear serviceable.
GENERAL SUGGESTIONS:	Suggest cleaning/servicing.
Appliance Type	Furnace.
Manufacturer	Trane.
Model	BLU055F936B2.

AIR CONDITIONING #1:

LOCATION :	Right side of house.
TYPE & CONDITION:	Condensing (outdoor) unit, Outside air temperature was below 65 degrees. Unable to test system at this time.
	The following problems were noted at the compressor/outdoor unit: Insulation is damaged / missing on refrigerant line.



POWER SOURCE:	240 Volt, Electrical disconnect present.
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APPROXIMATE AGE:
CAPACITY OF UNIT:
CONDENSATE LINE:

Older model - past the end of its useful life. 20+ years.
3.5 Ton.
Condensate line installed, For optimum performance, trap should be cleaned at regular intervals, particularly in the summer.



Appliance Type
Manufacturer
Model

Air Conditioner.
Trane.
TTB742A100A0.

AIR CONDITIONING #2:

LOCATION :
TYPE & CONDITION:

Right side of house.
Condensing (outdoor) unit, Outside air temperature was below 65 degrees. Unable to test system at this time.
The following problems were noted at the compressor/outdoor unit: Insulation is damaged / missing on refrigerant line.



POWER SOURCE:	240 Volt, Electrical disconnect present.
APPROXIMATE AGE:	Older model - past the end of its useful life. 20+ years.
CAPACITY OF UNIT:	2.5 Ton.
CONDENSATE LINE:	Condensate line installed.
Appliance Type	Air Conditioner.
Manufacturer	Trane.
Model	TTB727A100A0.

DUCTWORK:

TYPE:	Sheet metal, Flexible Round. Ducts are installed beneath concrete slab floor.
CONDITION:	Ducts appear dirty. Suggest cleaning, Vapor barrier at flexible round ductwork is loose/deteriorated in the attic.
	Flexible ducts should not be exposed to direct sunlight. UV rays can damage the vapor barrier. Consider covering windows in the attic.
	Ask HVAC contractor to mark dampers "winter" and "summer", in order to better balance air flow during different seasons.
	ASBESTOS-LIKE material noted! Possible health hazard. Evaluation by a licensed remediation contractor is recommended.





ELECTRICAL SYSTEM

Any electrical repairs should be performed by a licensed electrician. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

KEY:

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GREEN - Maintenance Items.

ORANGE - Improvements & Safety Enhancements.

BLUE - Ask seller

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SERVICE:

TYPE AND
CONDITION:

Underground, 120/240 Volt, **Gaps are noted at the meter SE cable entry / electrical meter. The potential of water entry is present, seal/caulk as needed.**

The following problems were noted at the SE cable: Service Entry cable is deteriorated/worn, Have a licensed electrician make further evaluation and corrections as needed.





MAIN ELECTRICAL PANELS:

MAIN PANEL
LOCATION & MAIN
BREAKER SIZE:
MAIN PANEL
CONDITION:

Basement, Appears serviceable, 200 Amps.

Circuit breakers, Circuit and wire sizing correct so far as visible, Grounding system is present

Multiple wires are connected to a single lug on a circuit breaker where only one wire should be connected, Have a licensed electrician make further evaluation and corrections as needed.

Nails are inserted at the SE cable. Potential fire hazard. Have a licensed electrician make further evaluation and corrections as needed.





CONDUCTORS:

SERVICE ENTRANCE
CABLES:
BRANCH WIRING:

Aluminum, 200 Amps.

Copper, Aluminum (240 volt OK), Non-metallic cable, Appears serviceable.

Melting wires noted in basement. Have a licensed electrician make further evaluation and corrections as needed.



SWITCHES - FIXTURES - RECEPTACLES:

CONDITION:

A representative sampling of switches and receptacles was tested. As a whole, receptacles and switches throughout the house are in serviceable condition. Stored items prevent access and testing at some receptacles and switches. **Exterior GFCI receptacles reset at main electrical panel, Bathroom GFCI receptacles reset in hall bathroom.**



DEFECTS:

Reverse polarity is noted at garage door in kitchen. Junction box cover/s or light fixture missing in kitchen. Light/s not operational, possibly due to burned out / missing bulbs in MBR and front bedroom. Have a licensed electrician make further evaluation and corrections as needed.

Recessed lights in the attic do not appear to be designed to be in direct contact with insulation or any combustible materials.

Light/s not operational, possibly due to burned out / missing bulbs in hallway on main level.





**RECOMMENDED
UPGRADES:**

Ground Fault Circuit Interrupter (GFCI) receptacles are recommended for kitchens. Consider removing incandescent light bulb from the vicinity of shelving. Potential fire hazard. You can also replace existing incandescent light bulb with a fluorescent bulb/light fixture



INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Often, a failed seal cannot be determined during the assessment due to varying weather conditions or humidity. Therefore, no representations are made as to the condition of every window. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Inspector does not move fireplace inserts, stoves or firebox contents.

THE INTERIORS OF FLUES AND CHIMNEYS ARE NOT PART OF THIS INSPECTION.

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DOORS:

MAIN ENTRY DOOR:

Appears serviceable.

EXTERIOR DOORS:

Standard side/rear door, Appears serviceable

Doors rub/stick at deck.



INTERIOR DOORS:

Appears serviceable, Doors don't latch at office and hallway closet on main level.
Doors rub/stick at front bedrooms.

Missing guide is noted at sliding doors in basement.



WINDOWS:

TYPE:

Aluminum, Wood, Double hung, Casement, Sliding, Dual-Pane Insulated Glass, **Single pane in basement. Consider installing double pane, insulated windows for better energy efficiency.**



CONDITION:

A representative sampling was taken. Windows as a grouping are generally operational. **Missing screen/s noted in sunroom.**



WALLS:

TYPE:

Drywall.

CONDITION:

General condition appears serviceable, Stored items or furnishings prevent full inspection, Typical cracks noted
Stains noted in foyer. Unable to determine if active leakage exists, not wet today, monitor in the future. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.



CEILINGS:

TYPE:

Drywall.

CONDITION:

General condition appears serviceable, Typical cracks noted, Nail pops noted (nail head protrudes outside of drywall)



FLOORS:

TYPE:

Carpet, Vinyl, Wood, Tile.

CONDITION:

General condition appears serviceable, Stored items or furnishings prevent full inspection, Rugs and floor coverings prevent viewing of primary floor materials.

STAIRS & HANDRAILS:

CONDITION:

Stairs are serviceable, **The following problems were noted at the handrail: loose in foyer.**



FIREPLACE/WOOD BURNING DEVICES:

FAMILY ROOM: TYPE
& CONDITION:

Masonry, Appears serviceable, THE INTERIORS OF FLUES AND CHIMNEYS CAN NOT BE ADEQUATELY CHECKED DURING A VISUAL INSPECTION AND ARE NOT PART OF THIS INSPECTION, Mortar joints appear serviceable, Damper is operational
Recommend cleaning and inspection. As a rule of thumb, chimney should be swept after burning 2 - 3 cords of wood.



ATTIC & INSULATION:

ACCESSIBILITY & CONDITION:

Attic is full size, Truss framing, Accessible, Attic appears serviceable
Active leak is noted at attic door in MBR closet and main attic, A licensed roofing contractor should be called to make further evaluation and repairs as needed.
Truss/rafter/s cracked and repaired; however, unable to determine if the repairs have been performed correctly. Ask seller for documentation of this repair, A licensed structural engineer/architect should be called to make further evaluation and repairs as needed, including proper drawings.





VENTILATION:

Ventilation is provided, Attic fan is installed, not tested. controls / thermostat was difficult to reach or the temperature was too low for the thermostat to activate.



**INSULATION TYPE,
DEPTH &
CONDITION:**

Fiberglass- Blown, Insulation is installed between floor joists, 10-15 inches, **Insulation has been disturbed and good coverage is no longer present.**

Insulation is installed upside down/backwards. Vapor barrier should be installed toward conditioned space. If another layer of insulation is added on top of existing layer, unfaced insulation should be used.



SMOKE / FIRE DETECTOR:

COMMENTS:

Smoke alarm(s) responded to the test button.

BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.

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POWDER ROOM :

CONDITION OF SINK /
CABINET:

Appears serviceable, Drain appears serviceable. **Stains noted under the sink. Unable to determine if active leakage exists, not wet today. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.**

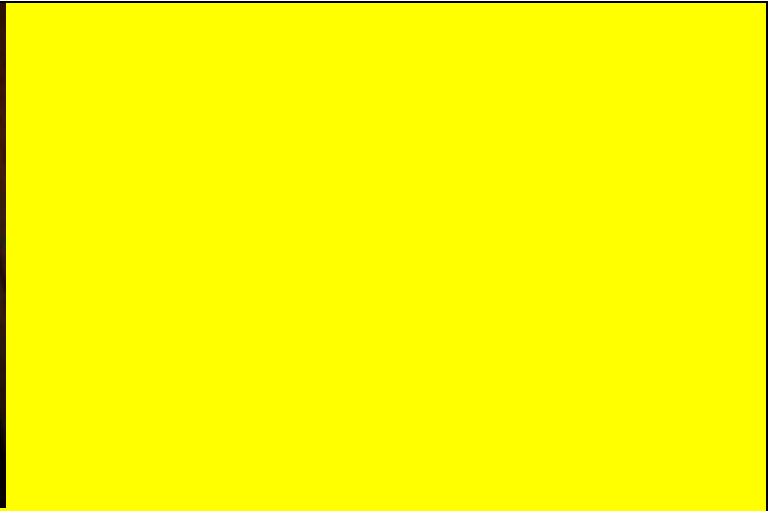


CONDITION OF
TOILET:

The following problems were noted at the toilet: loose at floor, a new wax seal should be installed under loose toilets, Have a licensed plumber make proper repairs as needed.

BATH VENTILATION:
CONDITION OF
FLOOR :

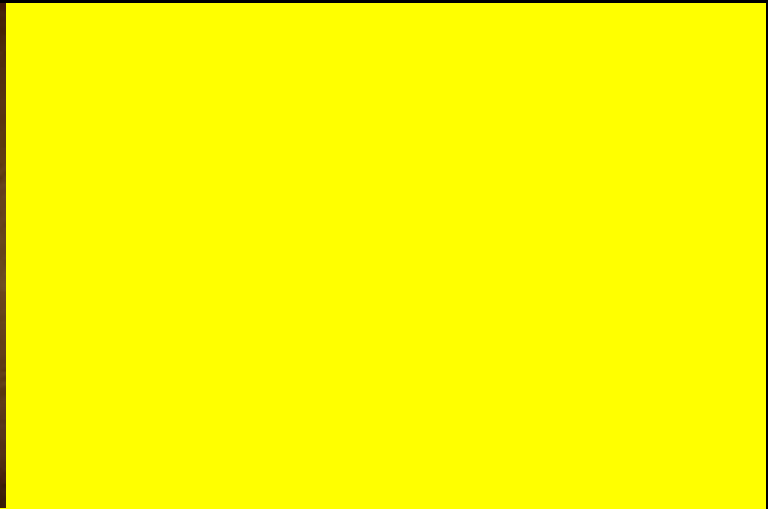
Consider installing an exhaust fan to provide additional ventilation.
The following problems were noted at the floor: tile/s are cracked.



BASEMENT BATH:

CONDITION OF SINK /
CABINET:

Appears serviceable, Drain appears serviceable, **Stains noted under the sink. Unable to determine if active leakage exists, not wet today. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.**



CONDITION OF
TOILET:

Appears serviceable.

TUB/SHOWER
PLUMBING FIXTURES:

Appears serviceable, Drain appears serviceable.

TUB/SHOWER &
WALLS:

Tub and shower areas appear serviceable, Shower walls appear serviceable.

BATH VENTILATION:

Appears serviceable.

MASTER BATH:

CONDITION OF SINK /
CABINET:

Appears serviceable, Drain appears serviceable, Viewing below sink area is restricted.
The following problems were noted at the drain: Stopper did not operate properly at right sink.



CONDITION OF
TOILET:
TUB/SHOWER
PLUMBING FIXTURES:
TUB/SHOWER &
WALLS:

Appears serviceable.

Appears serviceable, Drain appears serviceable.

Shower walls appear serviceable, Enclosure appears serviceable, **Grout is missing/deteriorated - re-grouting is needed to prevent water intrusion, Caulk and seal all tub and shower areas including at plumbing fixtures as a precaution.**



**BATH VENTILATION:
WHIRLPOOL:**

Appears serviceable.

Did not respond to controls properly, stopped several times while running. Clean jets, hoses and pipes. Have a licensed plumber make proper repairs as needed.

Unable to inspect electrical wiring, motor & hoses because access door is sealed shut.



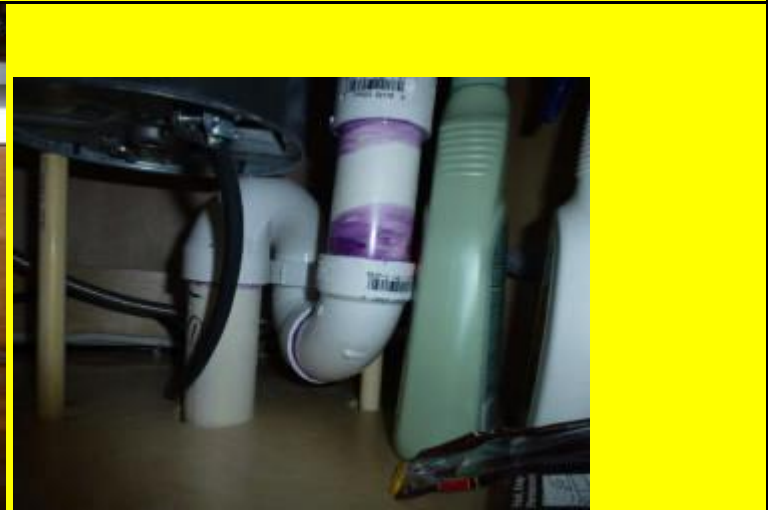


HALL BATH:

CONDITION OF SINK / CABINET:

Appears serviceable, Drain appears serviceable, Viewing below sink area is restricted.
The following problems were noted: vanity is damaged.

The following problems were noted at the drain: An improper S-trap drain line is installed. A licensed plumber should be called to make further evaluation and repairs as needed.

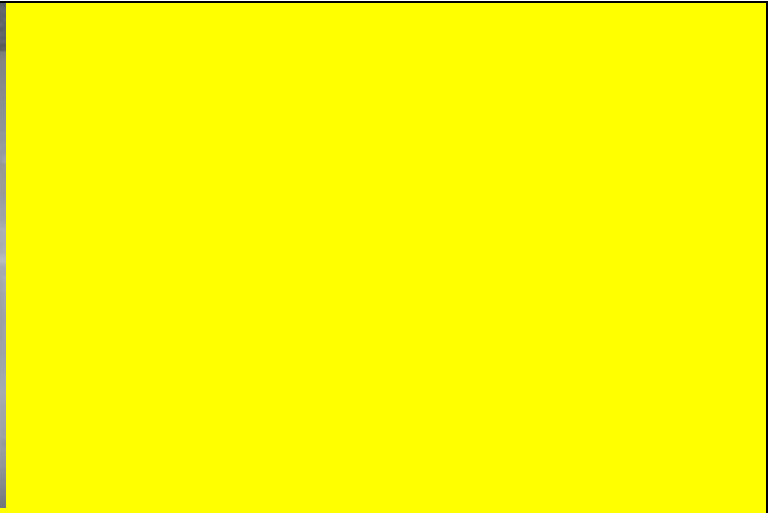


CONDITION OF TOILET:

The following problems were noted at the toilet: loose at floor, a new wax seal should be installed under loose toilets, Have a licensed plumber make proper repairs as needed.

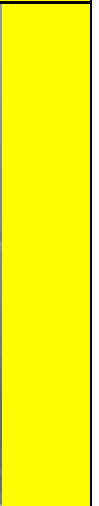
TUB/SHOWER PLUMBING FIXTURES:

Appears serviceable, **The following problems were noted at the drain: drain is slow at tub.**



**TUB/SHOWER &
WALLS:**

Tub and shower areas appear serviceable, Shower walls appear serviceable, **Caulk and seal all tub and shower areas including at plumbing fixtures as a precaution.**



BATH VENTILATION:

Consider installing an exhaust fan to provide additional ventilation.

KITCHEN & APPLIANCES

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

KEY:

RED - High priority items (Repair/Replace). Recommend evaluation and repair by a licensed contractor to be completed prior to the end of contingency period/transaction.

GREEN - Maintenance Items.

ORANGE - Improvements & Safety Enhancements.

BLUE - Ask seller

BROWN - FYI

"Appears Serviceable" means that the inspector did not observe any conditions that would let him/her believe problems existed with a particular item or system. The item or system is useable; however, might show signs of wear and tear.

KITCHEN SINK:

TYPE:

Stainless Steel.

CONDITION:

Appears serviceable, Faucet is serviceable, Drain appears serviceable, Viewing below the sink is restricted by stored items, **Stains noted under the sink. Unable to determine if active leakage exists, not wet today. Hidden damage may exist. Make inquiry with the seller as to the history of leaks.**



RANGE/COOK TOP & OVEN:

TYPE:

Gas, Free-standing.

CONDITION:

Appears serviceable. **Missing anti-tipping bracket.**

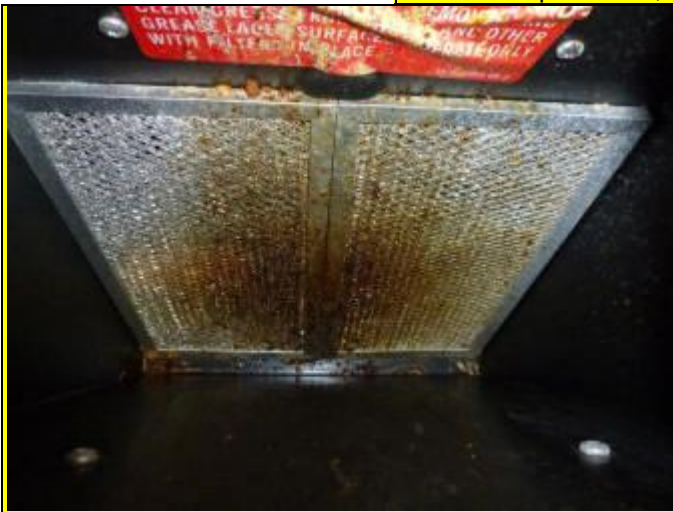
Appliance Type	Cooktop.
Manufacturer	Modern Maid.
Model	SFT2800SS.

WALL OVEN:

TYPE:	Electric.
CONDITION:	Appears serviceable, Older model appliance. Unit is near the end of its useful life.
Appliance Type	Wall Oven.
Manufacturer	GE.
Model	JKP27G0J3BG.

VENTILATION:

TYPE:	External, Downdraft.
CONDITION:	Fan/Hood operational, Exhaust fan/filter is dirty.



REFRIGERATOR:

CONDITION:	Appears serviceable.
Appliance Type	Refrigerator.
Manufacturer	Whirlpool.
Model	GD5SHGXKT01.

DISHWASHER:

CONDITION:	Older model appliance. Unit is near the end of its useful life.
	The following problems were noted at the air gap: The air gap is clogged and water is being discharged at top of sink, A licensed plumber should be called to make further evaluation and repairs as needed.



Appliance Type
Manufacturer
Model

Dishwasher.
GE.
GSD900G-01.

GARBAGE DISPOSAL:

CONDITION:

Unit is an older model. Unit is near the end of its useful life. Rusting is noted on body of the disposal.



INTERIOR COMPONENTS:

COUNTER TOPS &
CABINETS:
SWITCHES/FIXTURES/
OUTLETS:

Plastic laminate, Counter tops appear serviceable, Cabinets appear serviceable.
Appear serviceable.

LAUNDRY - UTILITY SINKS:

Laundry appliances are not moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned. Dryer exhaust vents should be cleaned out on a regular basis.

KEY:

RED - High priority items (Repair/Replace). Recommend evaluation and repair by a licensed contractor to be completed prior to the end of contingency period/transaction.

GREEN - Maintenance Items.

ORANGE - Improvements & Safety Enhancements.

BLUE - Ask seller

BROWN - FYI

"Appears Serviceable" means that the inspector did not observe any conditions that would let him/her believe problems existed with a particular item or system. The item or system is useable; however, might show signs of wear and tear.

LAUNDRY #1:

LOCATION: 2nd floor area, Hall closet.

CONDITION: Plumbing appears serviceable, 240 Service-operational, Electrical receptacle is grounded.

WASHER: Washing machine is an older model. Unit is nearing the end of its useful life, Consider installing burst-proof supply hoses. Our recommendation is to check hoses frequently and replace them every 3-5 years as part of a proactive maintenance plan.



Appliance Type
Manufacturer
Model

Washer.

Maytag.

A590.

DRYER:

Appliance Type

Manufacturer

Model

Electric, **Dryer is an older model. Unit is nearing the end of its useful life** A dryer vent is provided, and is in good visual condition, **Clean dryer vent annually.**

DrYER.

Maytag.

DE590.